



## **CITY OF SHASTA LAKE PARKS AND RECREATION ADVISORY COMMITTEE MEETING NOTICE AND AGENDA**

Larry J. Farr Community Center, Thursday, January 12, 2023  
4499 Main Street, Shasta Lake California at 4:30 PM.

4:30 pm call to order

Regular agenda items:

1. Discussion and update on the ARPA funding and projects.
2. Discussion and possible recommendation to the City Council regarding an application and funding from the McConnel Foundation for the replacement of the Little League field (Bizz Johnson) snack shack.

Adjourn



Report and Recommendations  
Reviewed and Approved

*Jessaca Lopez*

City Manager

1

## AGENDA ITEM City Council

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**TO:** Parks and Recreation Advisory Commissioners  
**FROM:** Whitney Zeller, Community and Economic Development Manager  
**DATE:** January 12, 2023  
**SUBJECT:** Discussion and Update on the ARPA funding and projects  
**FILE NO.:** G-100-500-010

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**RECOMMENDATION:**

Receive an update on the American Rescue Plan Act (ARPA) funding and projects.

**BACKGROUND:**

The City of Shasta Lake received \$2.49 million in funding through the American Rescue Plan Act. City Council appropriated \$2.39 million of this funding to implement parks and recreation projects and tasked the Parks and Recreation Advisory Commission with facilitating the community outreach process.

Following an extensive community outreach process, the Shasta Lake City Council approved the Parks and Recreation Advisory Commission's recommendation at their July 5, 2022 meeting to execute the following ARPA funded parks projects:

1. New skatepark facility at the Civic Center (leaving old skatepark in place)
2. Expansion of Lassen Field at Bizz Johnson Park and the addition of new lighting
3. Disc golf course behind ballfields at Bizz Johnson Park
4. Covered picnic pavilion (Margaret Polf Park)
5. Walking trail at Civic Center

Since project approvals, the following progress has been made:

Project	Status	Next Steps
Skatepark	City has contracted with NMR as the project lead. Staff have received feedback from local skate community and selected 3 design firms for consideration.	Staff are completing a RFQ that will be used to facilitate interviews with design firms.

Ball Field Expansion/Lights	City has been coordinating with Little League on drawings	Address drainage, complete drawings
Disc Golf Course	City has received feedback from local disc golf community and selected three designers for consideration.	Create RFQ and facilitate interviews with design firms
Picnic Pavilion	Parks and Recreation Commission selected Margaret Polf Park for the location of the Picnic Pavilion	Pending completion of prioritized projects to ensure available funding
Walking Trail	Sections of the walking trail have been included in other projects (skatepark/REAP grant)	Pending completion of prioritized projects to ensure available funding

Staff meet monthly to discuss and coordinate progress of the ARPA parks projects and continue to coordinate with stakeholders as projects move forward.

**FISCAL IMPACTS:**

No fiscal impact.

**ATTACHMENTS:**

None



Report and Recommendations  
Reviewed and Approved

2

*Jessaca Lopez*

City Manager

## AGENDA ITEM City Council

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**TO:** Parks and Recreation Advisory Commissioners

**FROM:** Whitney Zeller, Community and Economic Development Manager

**DATE:** January 12, 2023

**SUBJECT:** Discussion and possible recommendation to the City Council regarding an application and funding from the McConnell Foundation for the replacement of the Little League Field (Bizz Johnson) snack shack

**FILE NO.:** New

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**RECOMMENDATION:**

Receive an update on McConnell Foundation Grant #2022/25 and provide a recommendation to the City Council to accept funding in the amount of \$165,000 for the replacement of the Little League Field (Bizz Johnson) snack shack.

**BACKGROUND:**

The existing concession stand and restrooms building at Bizz Johnson Ballpark is outdated and lacks ADA accessibility. The City intended to use funding from the Parks Per Capita Program to renovate the facility, but recognized that renovations will not address long-term needs. To ballpark is expected to have increased use with the expansion of Lassen Field, addition of lights, and the growing Challengers Program. To accommodate the increased use as well as accessibility needs, the City proposed demolition of the existing facility and replacing it with a new concession stand and restroom that can better accommodate the community's needs. The new bathrooms and concession stand will serve Little League participants and attendees, including those of the Challengers Program. The new restrooms will be ADA accessible to accommodate the needs of our diverse community, and the new concession stand will assist Little League and their fundraising efforts as they expand their ability to schedule more games and host tournaments.

The original budget for renovations was \$100,000, and the estimated cost for the new facility is \$265,000, creating a funding gap of \$165,000. Costs would allow for the demolition of the existing facility, site prep, purchase, delivery, and installation of the new facility, and construction of the sidewalk around the concession stand. The City's Public Works Department would complete demolition and site prep, CXT will deliver and install the new building, and a contractor will be hired to construct the sidewalk. Due to the grant funding involved, the job will require prevailing wage. The City approached the McConnell

Foundation regarding a grant for the gap funding. On December 15, 2022 the McConnell Foundation Board reviewed and approved the funding request in an amount not to exceed \$165,000 under Grant #2022/25. A Memorandum of Agreement (Agreement) was provided to accept the awarded funds. The remaining cost of the project will be funded through the Parks Per Capita Grant.

Upon approval of the Agreement, the tentative timeline for the project is as follows:

Order new CXT building – January 2023  
Receive bids/select contractor for sidewalk – May 2023  
Demolition and site prep – July 2023  
Install new building – August 2023  
Construct sidewalk – August 2023

**FISCAL IMPACTS:**

Upon approval by City Council, a supplemental appropriation would be made to the City's Budget, not to exceed \$165,000. The project is 100% grant funded.

**ATTACHMENTS:**

McConnell Foundation Memorandum of Agreement  
CXS Building Specifications



The McConnell Foundation

*Helping Build Better Communities Through Philanthropy*

December 15, 2022

Jessaca Lugo, City Manager  
City of Shasta Lake  
P. O. Box 777  
Shasta Lake, CA 96019

Re: The McConnell Foundation Grant #2022/25  
Bizz Johnson Ballpark Concession and Bathroom Replacement Project

Dear Ms. Lugo:

*Jessaca*

I am pleased to inform you that The McConnell Foundation's Board of Directors approved funding the above-referenced grant in an amount not to exceed \$165,000.00. Grant payments will be made on a schedule to be determined between the City of Shasta Lake and The McConnell Foundation and are dependent upon execution of the enclosed Memorandum of Agreement.

Please review the Memorandum of Agreement provided. If it meets with your approval, obtain the necessary signatures and return the document to me; a fully-executed copy will be provided to you.

I look forward to working with you on this project. If you have any questions, feel free to give me a call. In future correspondence, please be sure to refer to the grant number.

*Congratulations!*

Sincerely,

*Shannon E. Phillips*

Shannon E. Phillips  
Chief Operating Officer

/adb  
Enc.

## MEMORANDUM OF AGREEMENT

Grant No. 2022/25

**THIS MEMORANDUM OF AGREEMENT** ("Agreement") is made effective as of December 15, 2022, by and between The McConnell Foundation, a California nonprofit corporation, ("Foundation"), and the City of Shasta Lake, a municipal corporation, ("Grantee"), who agree as follows:

- A. Foundation Grant: The Foundation agrees to make a grant to Grantee for an amount not to exceed \$165,000.00 for the project entitled "*Bizz Johnson Ballpark Concession and Bathroom Replacement Project*," more particularly described in Exhibit "A" attached hereto ("Project").
- B. Use of Funds: Grantee's receipt and use of the Foundation's grant funds for the Project is subject to the following:
1. Grantee shall utilize the grant funds received from the Foundation only for the Project.
  2. Any sums not used by Grantee for the Project, including any accrued interest on the grant funds, shall remain the property of the Foundation and shall be promptly returned to the Foundation.
- C. Disbursement of Funds: The Foundation will disburse grant funds to Grantee pursuant to a schedule to be determined by the Foundation and Grantee.
- D. Grantee's Covenants and Representations:
1. Grantee will complete the Project on or before December 31, 2023. No modifications shall be made to the Project without prior written approval from the Foundation.
  2. Grantee will provide the Foundation with:
    - a. a written narrative and financial grant progress report regarding the Project on or before August 1 until the Project is completed; and
    - b. a final report upon completion.

The following is Grantee's representative responsible for submitting grant progress reports and copies of any and all evaluations and data:

Name: Jessaca Lugo  
Title: City Manager  
Address: P.O. Box 777  
Shasta Lake, CA 96019  
Phone: 530-275-7400      Email: [jlugo@cityofshastalake.org](mailto:jlugo@cityofshastalake.org)

3. Grantee hereby indemnifies, defends, and holds harmless the Foundation, its officers, directors, employees, representatives, and agents against and from all liabilities, obligations, damages, penalties, claims, costs, charges, and expenses, including

reasonable attorney's fees, (collectively, "Claim") which are caused by or resulting from the acts or omissions of Grantee or its officers, directors, employees, members, representatives, contractors, agents or invitees, and which in any way relate to or arise from the Project. If any proceeding is brought against the Foundation or its officers, directors, employees, representatives or agents by reason of any such Claim, Grantee, upon written notice from the Foundation shall, at Grantee's expense, defend such action or proceeding by counsel approved by the Foundation in writing.

4. Grantee is an organization exempt under the United States Internal Revenue Code Section 501(c)(3) or is a government entity or subdivision thereof. If Grantee receives any notification of a pending or actual change in its tax status during the term of this grant, it will immediately notify the Foundation.
5. Grantee shall not directly or indirectly use the Foundation's grant funds:
  - a. for any purpose which would not satisfy the requirements for treatment by the Foundation as a "qualifying distribution" as that term is defined by Internal Revenue Code section 4942(g), or would constitute a "taxable expenditure" to the Foundation as that term is defined by Internal Revenue Code section 4945(d); or
  - b. for any purpose other than the approved purpose of the Project.
6. If Grantee should voluntarily elect to dissolve or be subject to involuntary dissolution, then any of the Foundation's grant funds in Grantee's possession or control and any assets, whether real or personal, which Grantee or its agents have acquired with the Foundation's grant funds shall be immediately delivered to the Foundation or any qualifying organization of the Foundation's choice.
7. Grantee shall make available to the Foundation or its designated representative, on reasonable request, all financial records relating to the Project for audit or inspection at any time during the term of the Project and for a period of three years following the termination of the Project. Grantee shall also provide the Foundation with any information it shall reasonably request concerning Grantee, its operations, or the Project.
8. Grantee certifies that Grantee does not discriminate in regard to race, color, sex, sexual orientation, gender identity, marital status, pregnancy, political ideology, age, creed, religion, heritage, ancestry, national origin, veteran status, disability unrelated to job or course of study requirements, or any other characteristic protected by law.

Grantee may target services to a specific population when the targeted group requires specialized programs to meet specific needs not shared by the general population. Additionally, Grantee may provide targeted programs or services to redress current or past discrimination against a group.

9. Grantee certifies that it has not provided and will not provide support or resources to any individual or entity that advocates, plans, sponsors, engages in, or has engaged in terrorist activity; or to anyone who acts as an agent for such an individual or entity. Support or resources include currency or other financial instruments, financial services, lodging, training, safe houses, false documentation or identification, communication equipment, facilities, weapons, lethal substances, explosives, personnel, transportation, and any other services or physical assets. Any violation of this certification is grounds for immediate termination of the grant and return to the Foundation of all funds advanced Grantee under it. In the event that this should happen, the Foundation also reserves the right to terminate or suspend obligations and amounts not disbursed to its grantees.
10. Grantee certifies that it, and each of its officers, directors, members, representatives, contractors, and agents, are not (i) an individual, entity or organization identified on any Office of Foreign Assets Control ("OFAC") "List of Specially Designated Nationals and Blocked Persons" or subject to any OFAC country sanctions, (ii) a foreign shell bank, and/or (iii) a person or entity resident in or to or from whom funds are transferred from or to Grantee through a jurisdiction identified as non-cooperative by the Financial Action Task Force. Grantee further certifies that it does not have any affiliation of any kind with an individual, entity, or organization described in clause (i) above.

E. Miscellaneous:

1. Publicity about the Project initiated by Grantee, which identifies the Foundation as a funding source, shall contain the following statement:

*"This project is funded in part by The McConnell Foundation, Redding, California. The McConnell Foundation is a private, nonprofit organization whose mission is to help build better communities through philanthropy."*

Grantee shall not cause or permit the Project to be dedicated to or have any person's name attached to the Project without the Foundation's written consent, which may be withheld in the Foundation's sole and absolute discretion.

2. If the Foundation is not satisfied with the progress toward achieving the goals of the grant, or if the Foundation is of the reasonable opinion that Grantee is incapable of satisfactorily completing the work of the grant, or if Grantee fails to perform duties to the satisfaction of the Foundation, or fails to fulfill in a timely and professional manner obligations under this Agreement, or otherwise fails to comply with the terms of this Agreement, or violates any ordinance, regulation or other law which applies to its performance herein, the Foundation in its sole discretion, may:
  - a. withhold payment of grant funds until the situation has been corrected to the Foundation's reasonable satisfaction, or
  - b. declare the grant to be terminated. Grantee shall refund any advanced funds in

Grantee's possession or control which were not used in accordance with this Agreement.

Prior to the time the Foundation exercises its right to declare the grant to be terminated, it shall (i) provide 10 days' written notice of the intent to terminate to Grantee and shall (ii) offer Grantee a reasonable opportunity within that 10-day period to appear before appropriate representatives of the Foundation and present Grantee's reasons why the proposed termination should not be made final.

3. In the event this Agreement is terminated for any reason:
  - a. Grantee shall provide the Foundation with a final, written narrative and financial grant progress report regarding the Project, inclusive to the date of termination, and all finished and unfinished products, reports, and/or evaluations prepared by Grantee pursuant to this Agreement.
  - b. The Foundation will pay Grantee for work satisfactorily completed as of the date of termination.
  - c. Grantee shall immediately deliver to the Foundation, any and all assets acquired with grant funds, and the Foundation, in its sole discretion, shall determine the disposition of any and all such assets.
4. This Agreement does not create a principal-agent relationship of any type between any parties hereto, and no party will, by act or omission, foster any belief on the part of third parties that such relationship exists.
5. Nothing in this Agreement, whether express or implied, is intended to confer any rights or remedies under or by reason of this Agreement on any persons other than the parties to it and their respective successors and assigns. Grantee may not assign this Agreement without the express written consent of the Foundation.
6. This Agreement contains all representations and the entire understanding and agreement between the parties. Correspondence, memoranda, and oral or written agreements which originated before the date of this Agreement are replaced in total by this Agreement unless otherwise expressly stated in this Agreement. The provisions of this Agreement may be waived, altered, amended, or repealed, in whole or in part, only on the written consent of all parties to this Agreement.
7. In the event of a dispute between any of the parties hereto over the meaning of this Agreement, no party shall be deemed to have been the drafter hereof, and the principle of law that contracts are construed against the drafter does not and shall not apply.
8. The parties hereto agree that time is of the essence for the performance of each and every covenant and the satisfaction of each and every condition contained in this Agreement.

9. The unenforceability, invalidity, or illegality of any provision of this Agreement shall not render the other provisions unenforceable, invalid, or illegal.
10. This Agreement shall be construed in accordance with, and governed by, the laws of the State of California that would apply as if both parties were residents of and the Agreement was made and entirely performed in the State of California.
11. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. Counterparts may be delivered via facsimile, electronic mail (including pdf or any electronic signature complying with the U.S. federal E-SIGN Act of 2000, California's Uniform Electronic Transactions Act (Cal. Civ. Code § 1633.1, et seq.) or other applicable law) or other transmission method, and any counterpart so delivered shall be deemed to have been duly and validly delivered and be valid and effective for all purposes. With respect to signatures delivered via facsimile or electronically, each party shall deliver their original ink signatures to the other party within 30 days following the mutual execution of this Agreement, provided, that failure to deliver such original ink signatures shall not affect the validity of the electronic signatures that were delivered.

The parties hereby execute this Agreement effective the date set forth above.

The McConnell Foundation

By: \_\_\_\_\_  
John A. Mancasola  
President and CEO

City of Shasta Lake

By: \_\_\_\_\_  
[Signature]

Name: \_\_\_\_\_  
[Print]

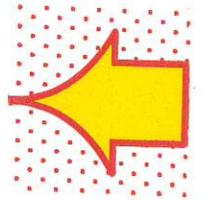
Title: \_\_\_\_\_  
[Mayor/Vice Mayor]

ATTEST

By: \_\_\_\_\_  
[Signature]

Name: \_\_\_\_\_  
[Print]

Title: \_\_\_\_\_  
[City Clerk/Deputy City Clerk]



**Exhibit "A"**

**Grant No. 2022/25**

**Project Title: Bizz Johnson Ballpark Concession and Bathroom Replacement Project**

**Project Description:**

Demolition of existing concession and bathroom facility at Bizz Johnson Ballpark and replacement with a new facility.

# SANTIAGO

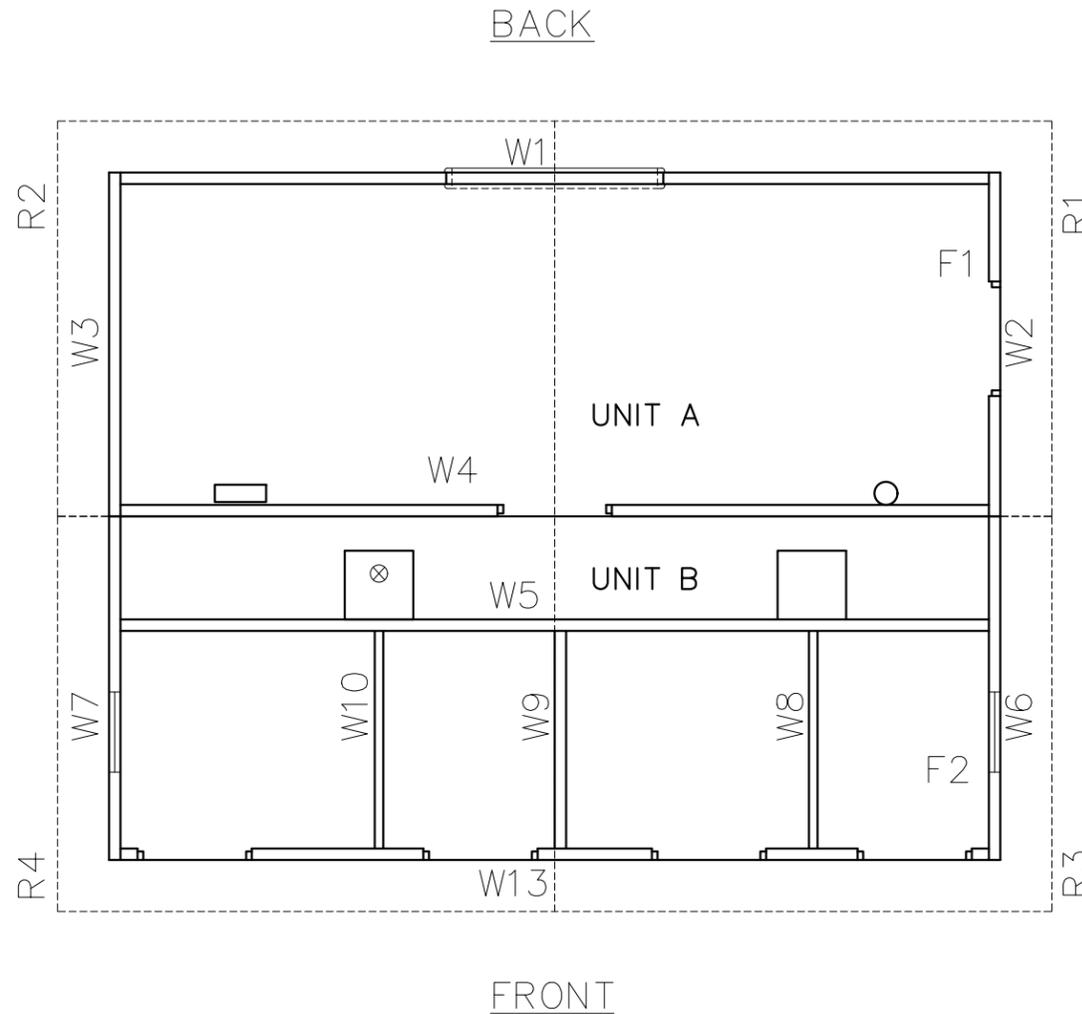
## PANEL MARK NO. KEY PLAN

MANUFACTURED BY:  
CXT INC. (ID)  
6701 E. FLAMINGO AVE BLDG 300  
NAMPA, ID 83687

SITE ADDRESS:  
COMMUNITY PARK  
SHURZ, NV

### NOTES

- BUILDING IS DESIGNED TO COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE.
- DESIGN COMPLIES WITH THE PROVISIONS OF THE 2018 IBC CODE FOR THE FOLLOWING LOADS:  
GROUND SNOW LOAD = 250 PSF  
ROOF SNOW LOAD = 210 PSF  
FLOOR LOAD = 400 PSF  
IBC DESIGN SPECTRAL RESPONSE  $S_s = 1.714$   $S_1 = 1.389$   
SITE CLASS D  
RISK CATEGORY: II  
SEISMIC DESIGN CATEGORY: E  
BEARING WALL SYSTEM  $R = 4.0$   
WIND -  $V = 150$ MPH  
WIND -  $V_{ASD} = 116$ MPH  
WIND EXPOSURE C  
\*\*\*BUILDING IS NOT TO BE PLACED IN A LOCATION WHERE LOADS EXCEED THE VALUES PROVIDED ABOVE
- CONSTRUCTION TYPE: V-B  
OCCUPANCY: U  
EXTERIOR WALLS: 1-HR RATED PER IBC TABLE 721.1(2), ITEM 4-1.1  
MINIMUM FIRE SEPARATION DISTANCE: 10' PER CBC TABLE 705.8  
MAXIMUM UNPROTECTED OPENING AREA: 9.95% (WALL W3 & W4)
- CONCRETE STRENGTH  $f'_{ci} = 2500$  PSI INITIAL  $f'_{c} = 5000$  PSI FINAL  
AIR ENTRAINMENT  $6\% \pm 1\ 1/2\%$  IN PLASTIC CONCRETE.  
REINFORCING STEEL: ASTM A615 #3 GRADE 40, #4 AND LARGER GRADE 60 MINIMUM LAP 18" AT SPLICES. TIE BARS WITH DOUBLE ANNEALED 16 GA IRON WIRE. REINFORCING TO BE PLACED IN CENTER OF PANEL UNO.  
WELDED WIRE FABRIC (W.W.F.): ASTM A1064 GRADE 80, 4x4xW6.7xW6.7,  $F_y=80$  KSI (OR EQUIVALENT), SMOOTH WIRE, MIN. LAP 2 SQUARES.
- EMBEDDED ITEMS IDENTIFIED ON DRAWINGS (i.e. PS-2, R301) REFER TO CXT STANDARD EMBEDMENT CATALOG.
- BACK OF PANELS TO HAVE SMOOTH TROWEL FINISH UNO. ALL SURFACES TO BE TEXTURED ARE NOTED ON PANEL DWG'S
- REFER TO SEPARATE CXT INCORPORATED SPECIFICATIONS COVERING DESIGN, MATERIALS, PRODUCTION, AND INSTALLATION CRITERIA FOR SPECIFIC STYLE OF BUILDING.
- ALL REBAR BENDS ARE TO HAVE A MINIMUM RADIUS OF 6x THE BAR DIAMETER
- INSTALLATION TO MEET APPLICABLE LOCAL, STATE & FEDERAL CODES, BY OTHERS.
- ADEQUATE PLUMBING FACILITIES MUST BE PROVIDED IN ACCORDANCE WITH 2018 IBC (NOT BY CXT)
- ACCESSIBLE ROUTE TO BE PROVIDE BY OTHER ON SITE (NOT BY CXT).



### INDEX OF DRAWINGS

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S-03	FLOOR PLAN
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S-05	BUILDING ELEVATIONS
S-06	INTERIOR RESTROOM ELEVATIONS
S-07	DETAILS
S-08	WALL PANEL W1
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S-10	WALL PANEL W3
S-11	WALL PANEL W4
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S-13	WALL PANEL W5 BLOCKOUTS
S-14	WALL PANEL W6
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S-18	WALL PANEL W13
S-19	FLOOR SLAB F1
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S-21	ROOF SLAB R1
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S-23	ROOF SLAB 3
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S-25	FOUNDATION DETAIL
S-26	FLOOR DRAIN LOCATIONS & BELOW FLOOR PIPING
S-27	PLUMBING WASTE & VENT PIPING PLAN
S-28	PLUMBING WATER PIPING PLAN & DIAGRAMS
S-29	PLUMBING DETAILS, DIAGRAMS & SCHEDULE
S-30	ELECTRICAL NOTES, DETAILS & SCHEDULE
S-31	ELECTRICAL PLAN & SCHEDULE
S-32	MATERIAL LIST
S-33	MATERIAL LIST

### APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE (2016 ASHRAE 90.1)  
2018 UNIFORM PLUMBING CODE  
2018 UNIFORM MECHANICAL CODE  
2017 NATIONAL ELECTRIC CODE

### SPECIAL CONDITIONS AND/OR LIMITATIONS

ACCESSIBILITY TO THIS BUILDING, INCLUDING PARKING, IS TO BE PROVIDED BY OTHERS AND CONSTRUCTED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.

**LB Foster**  
CXT® Products

6707 E. Flamingo Ave. Bldg 300, Nampa, ID 83687  
901 N. Highway 77 Hillsboro, TX 76645  
362 Waverly Road Williamstown, WV 26187

PROJECT TITLE  
**SANTIAGO**  
BUILDING NUMBER S-401

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CXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE
SCALE	3/16"=1'-0"	DATE	8/30/22
DRAWN	M. TOLMAN	FILE NO.	S-401
CHECKED	BHA	PLOT	64

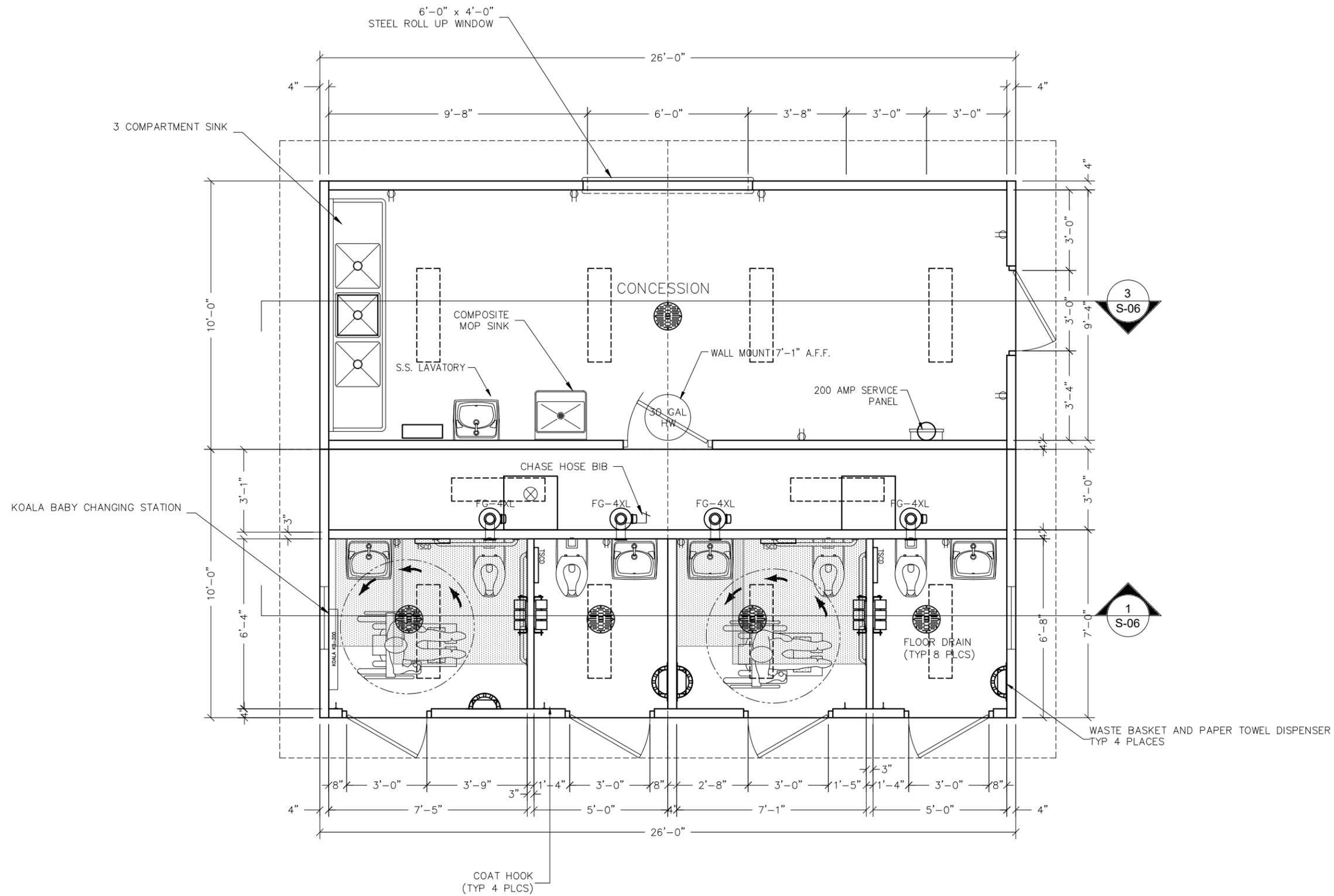
### COVER SHEET

DWG NO.	SHEET	REV.
S-01	1/33	0

CASTING TOLERANCES:  
OVERALL LENGTH OR WIDTH  
10 S OR UNDER =  $\pm 1/8"$   
10 TO 20 S =  $\pm 1/8"$ ,  $-3/16"$   
20 TO 40 S =  $\pm 1/4"$   
TOTAL THICKNESS =  $-1/8$ ,  $+1/4$   
VARIATION FROM SQUARE =  $\pm 1/8$  PER 6 S OF DIAGONAL  
LOCAL SMOOTHNESS =  $1/4"$  IN 10 S  
SWEEP =  $\pm 1/4"$   
POSITION OF TENDONS =  $\pm 1/4"$   
POSITION OF BLOCKOUTS =  $\pm 1/4"$   
SIZE OF BLOCKOUTS =  $\pm 1/4"$   
POSITION OF EMBEDS =  $\pm 1/4"$   
TIPPING AND FLUSHNESS OF PLATES =  $+1/16$ ,  $-1/4$   
BOWING = LENGTH/360  
END SQUARENESS =  $\pm 1/8"$

### NEVADA STATE P.E. DRAWINGS (ELECTRONIC) REQUIRED

WALL TEXTURE: BARNWOOD  
WALL COLOR: BERRY MAUVE  
ROOF TEXTURE: CEDAR SHAKE  
ROOF COLOR: BUCKSKIN  
TRIM & DOOR PAINT: DTM ALKYD ENAMEL BROWN  
STANDARD PACKAGE



**LB Foster**  
CXT® Products

6707 E. Flamingo Ave. Bldg 300, Nampa, ID 83687  
901 N. Highway 77 Hillsboro, TX 76645  
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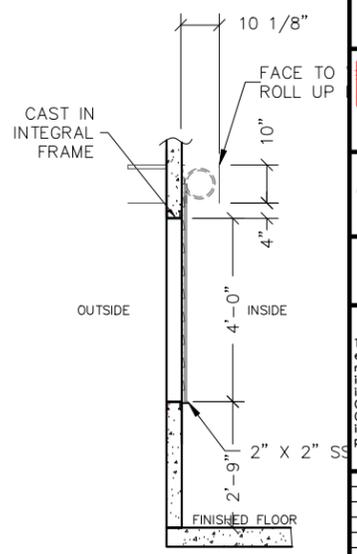
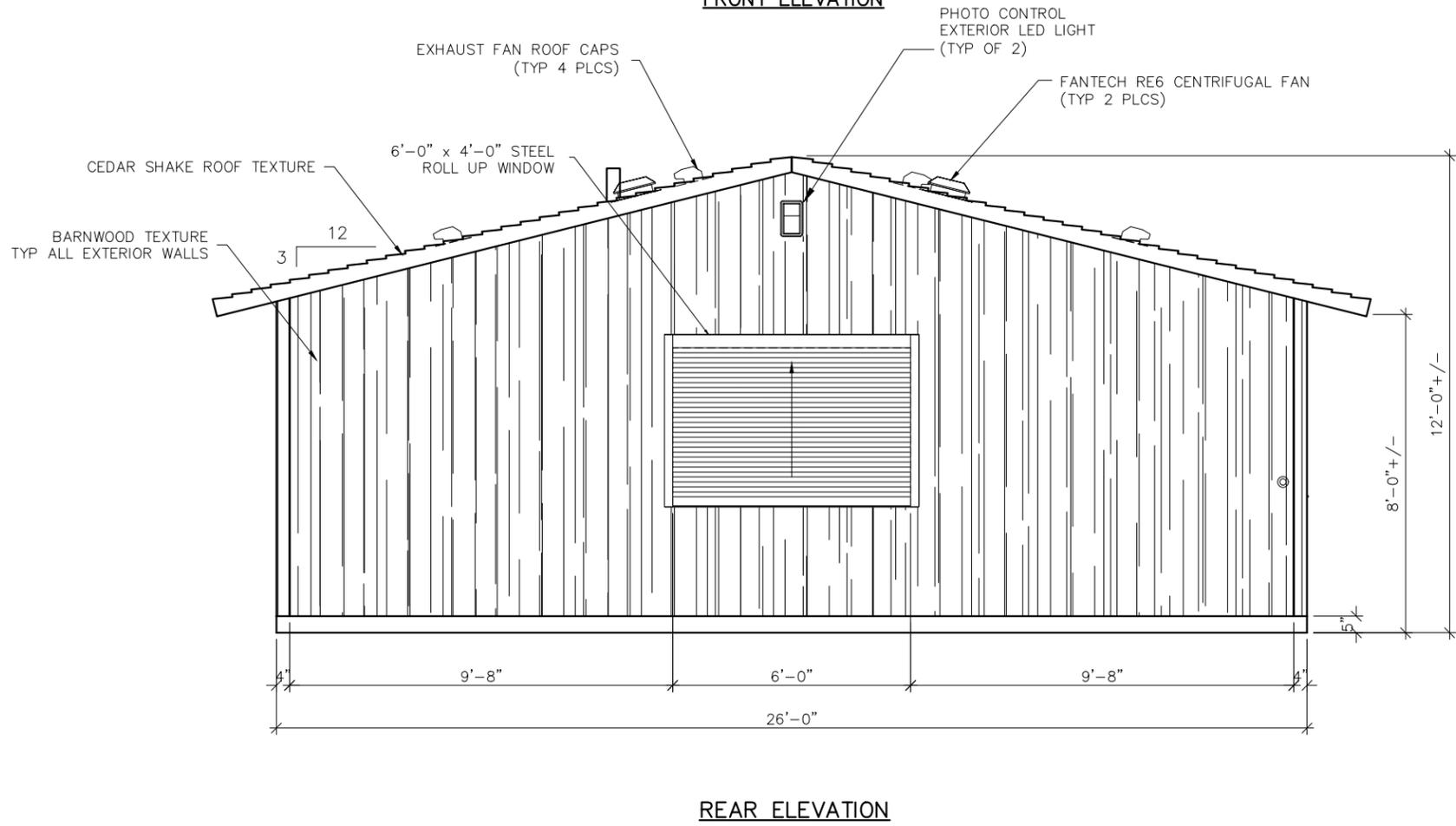
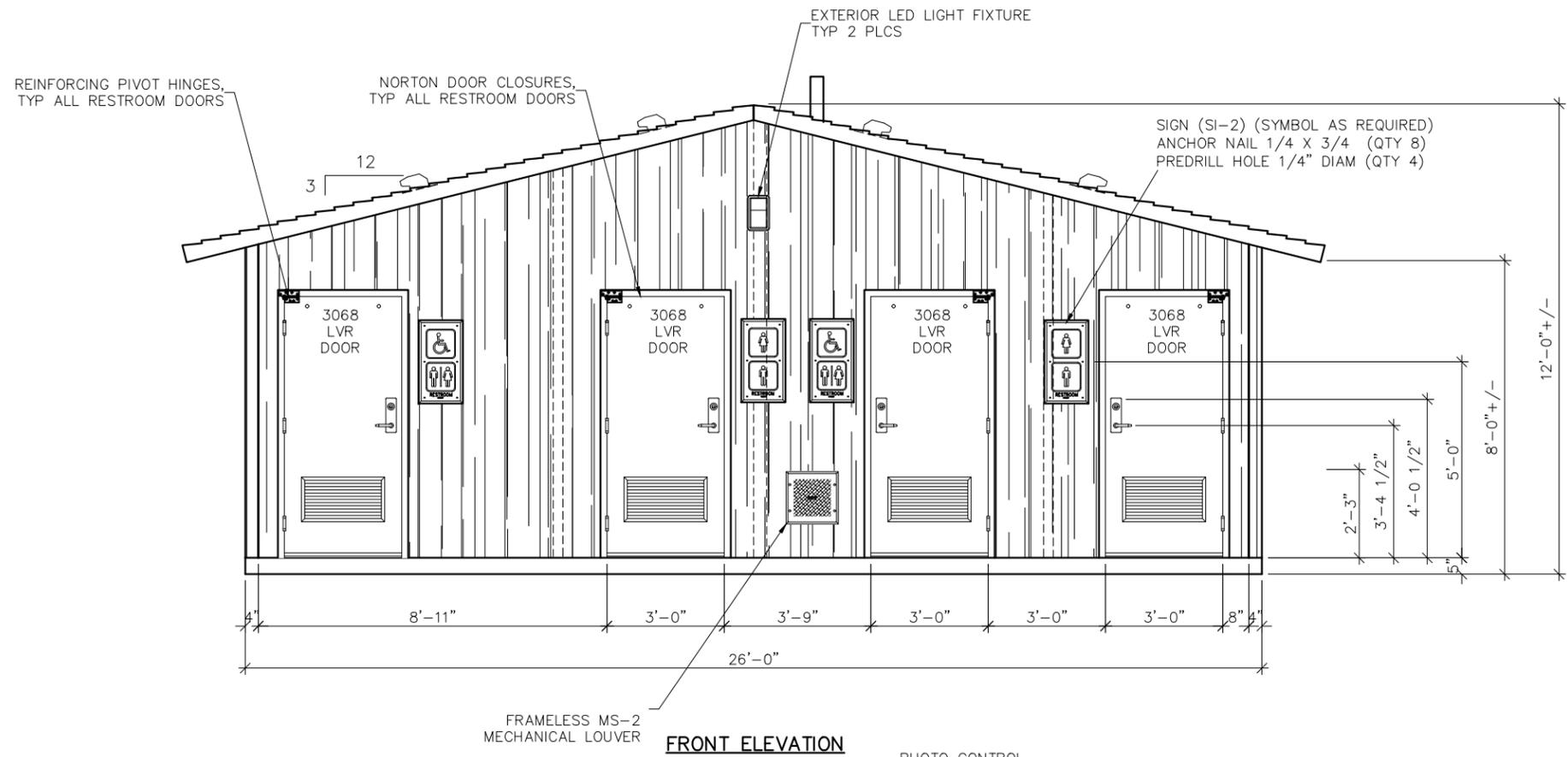
PROJECT TITLE  
**SANTIAGO**  
BUILDING NUMBER S-401

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CXT Incorporated

REV.	DESCRIPTION	APPROVAL	DATE
SCALE	1/4"=1'-0"	DATE	8/30/22
DRAWN	M. TOLMAN	FILE NO.	S-401
CHECKED	BHA	PLOT	48

**FLOOR PLAN**

DWG NO.	S-03	SHEET	3	REV.	0
			33		



**INTERIOR ROLL UP DOOR DETAIL**

**LB Foster**  
CXT® Products

6707 E. Flamingo Ave. Bldg 300, Nampa, ID 83687  
901 N. Highway 77 Hillsboro, TX 76645  
362 Waverly Road Williamstown, WV 26187

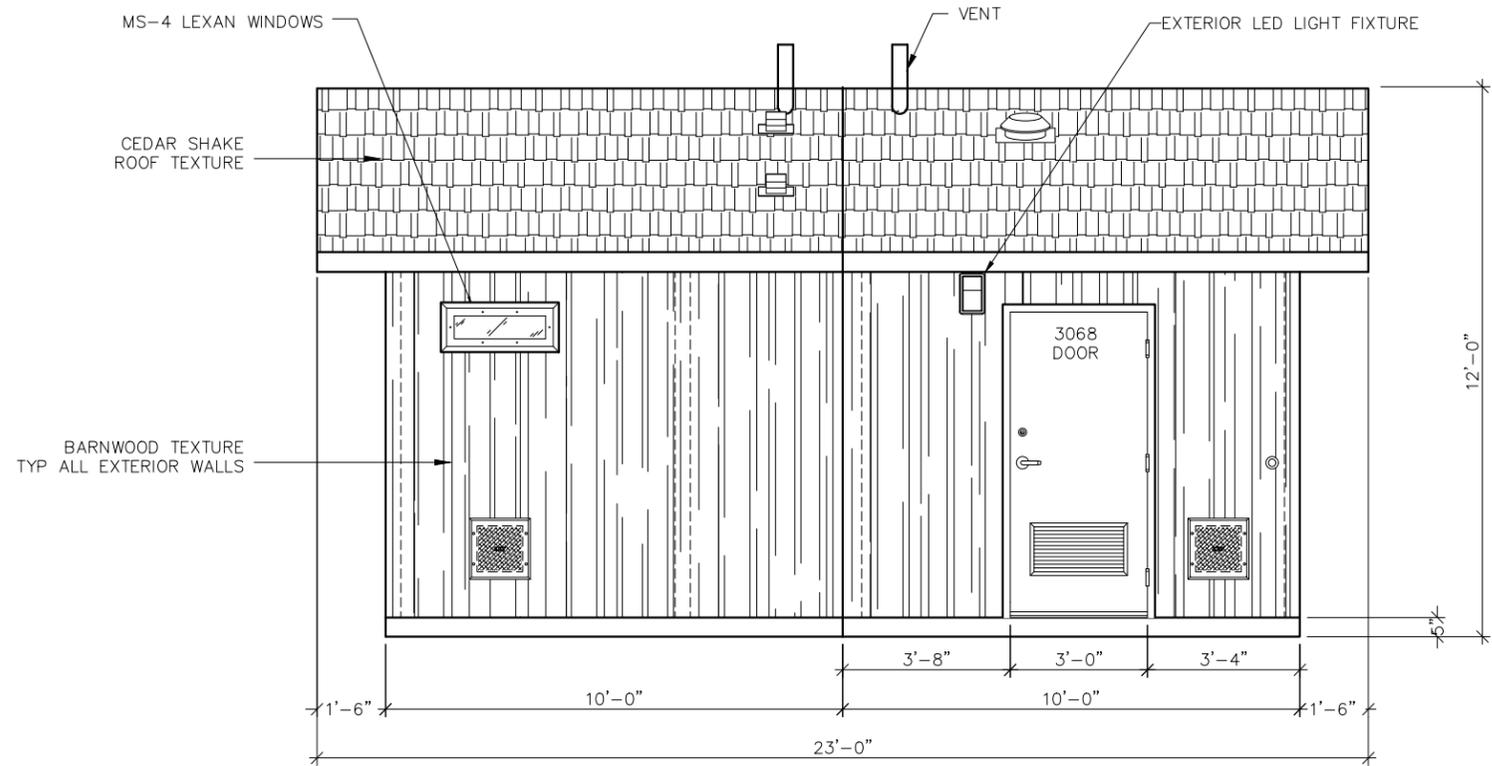
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**SANTIAGO**  
BUILDING NUMBER S-401

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CXT Incorporated

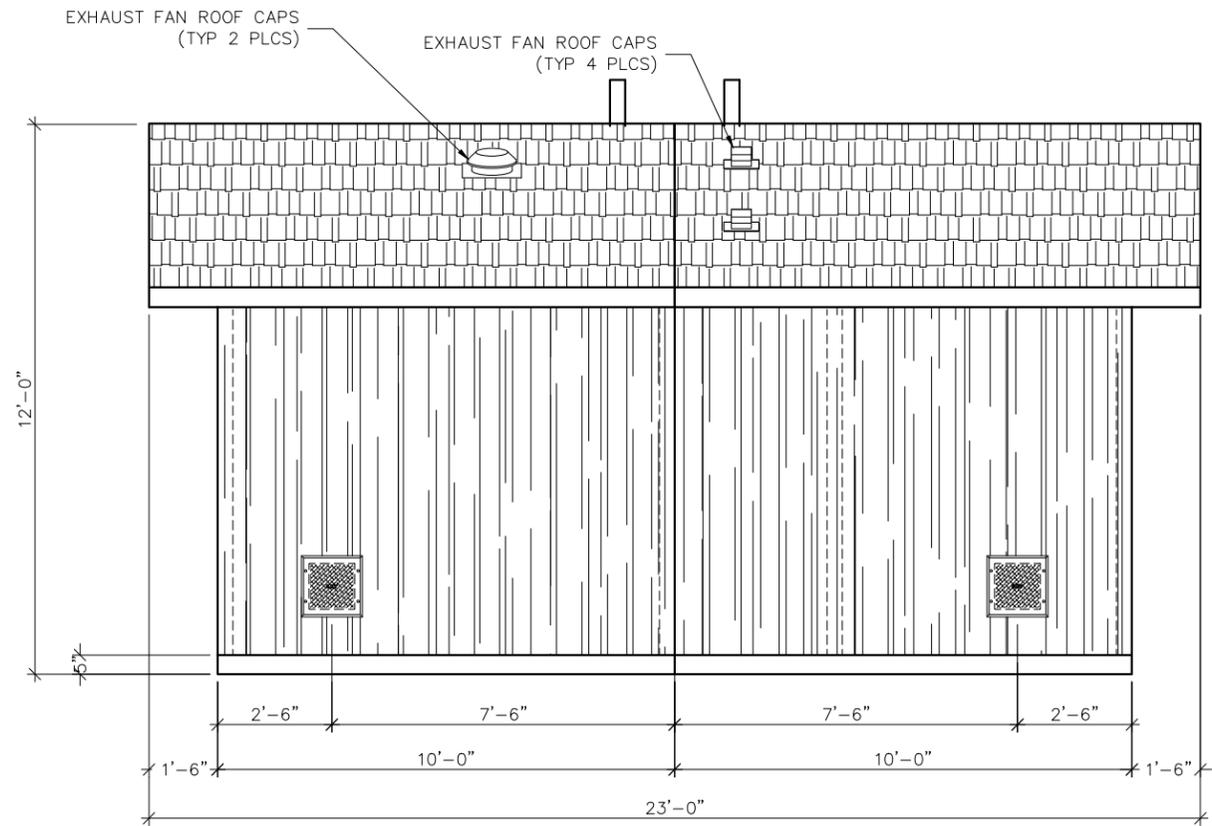
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SCALE	1/4"=1'-0"	DATE	8/30/22
DRAWN	M. TOLMAN	FILE NO.	S-401
CHECKED	BHA	PLOT	48

**BUILDING ELEVATIONS**

DWG NO.	SHEET	REV.
S-04	4 / 33	0



**RH SIDE ELEVATION**



**LH SIDE ELEVATION**



6707 E. Flamingo Ave. Bldg 300, Nampa, ID 83687  
 901 N. Highway 77 Hillsboro, TX 76645  
 362 Waverly Road Williamstown, WV 26187

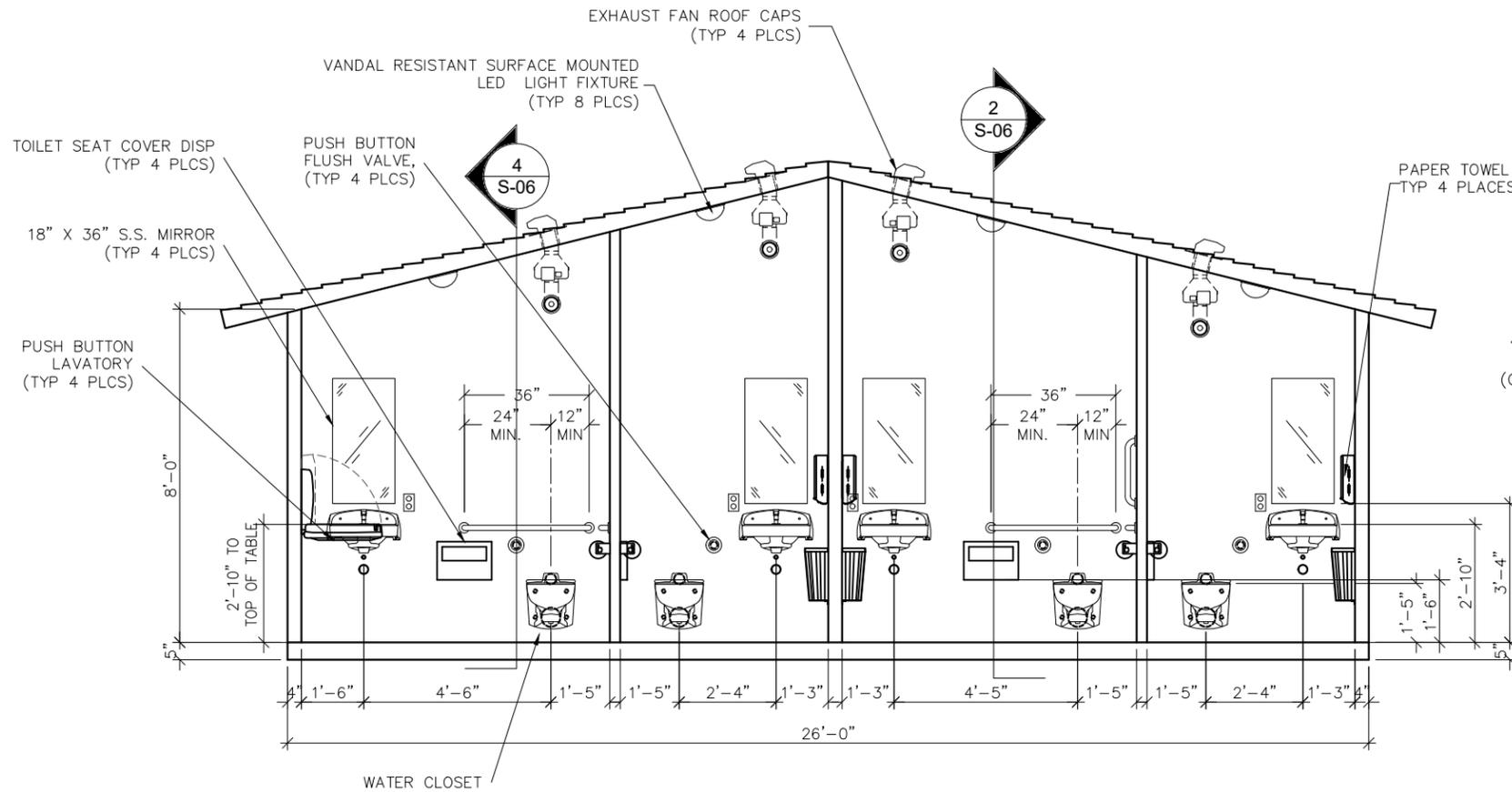
PROJECT TITLE  
**SANTIAGO**  
 BUILDING NUMBER S-401

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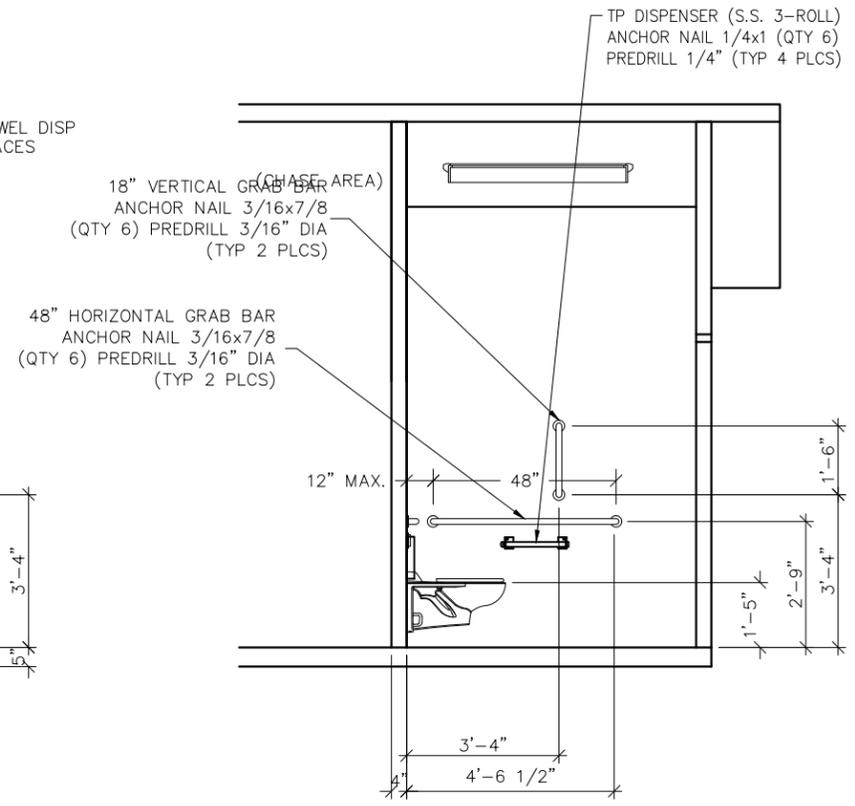
REV.	DESCRIPTION	APPROVAL	DATE
SCALE	1/4"=1'-0"	DATE	8/30/22
DRAWN	M. TOLMAN	FILE NO.	S-401
CHECKED	BHA	PLOT	48

**BUILDING ELEVATIONS**

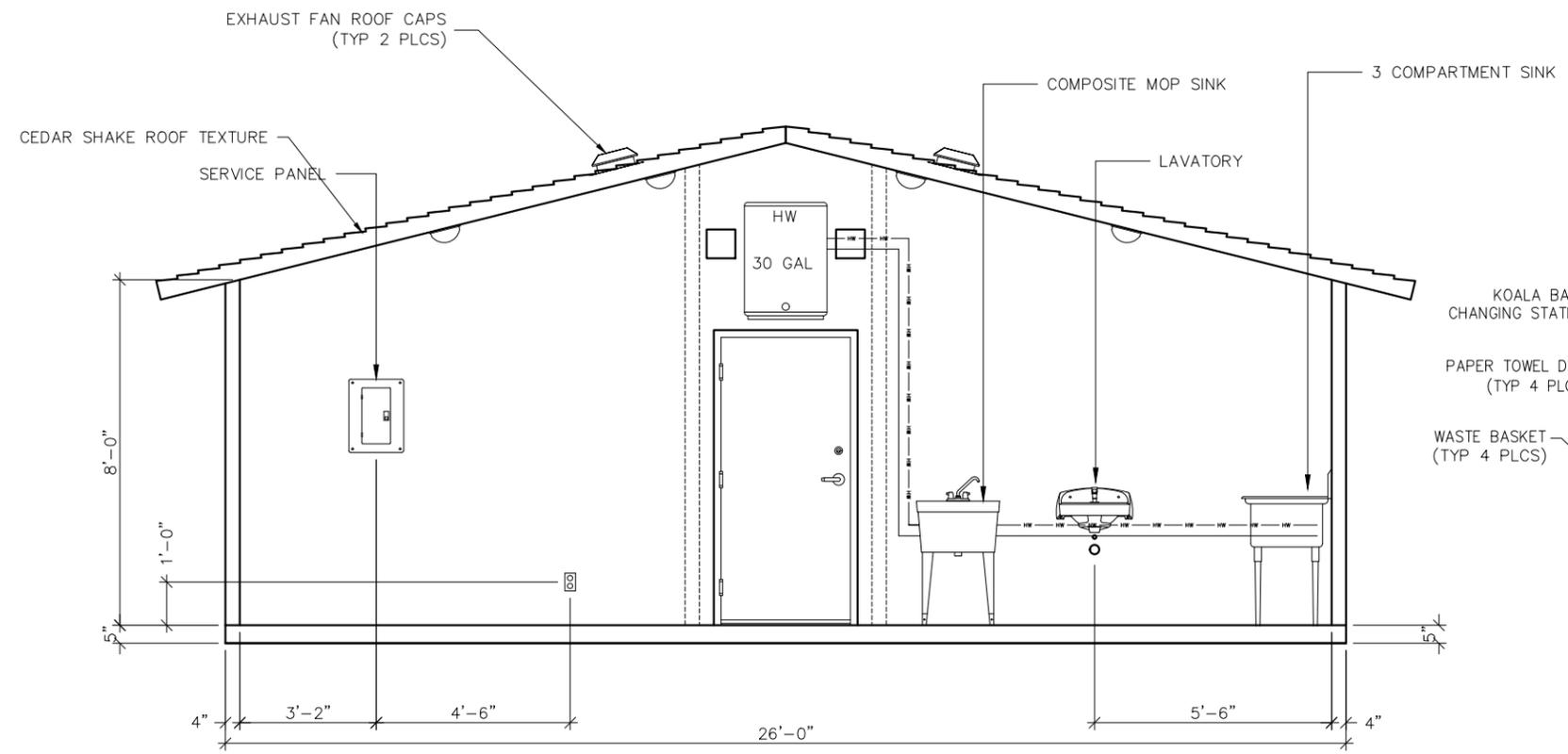
DWG NO.	SHEET	REV.
S-05	5 / 33	0



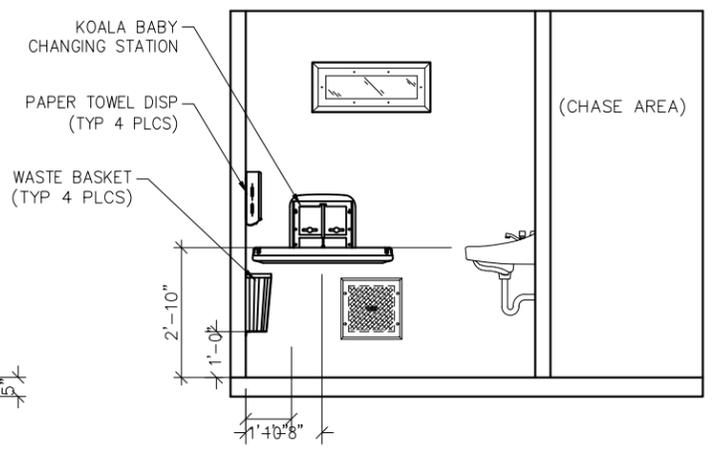
1 INTERIOR ELEVATION - MIDDLE (CHASE) WALL



2 INTERIOR ELEVATION - ADA STALL SIDE WALL



3 INTERIOR ELEVATION - CONCESSION BACK WALL



4 INTERIOR ELEVATION - SIDE WALL

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**INTERIOR RESTROOM ELEVATIONS**

DWG NO.	S-06	SHEET	6	REV.	0
			33		

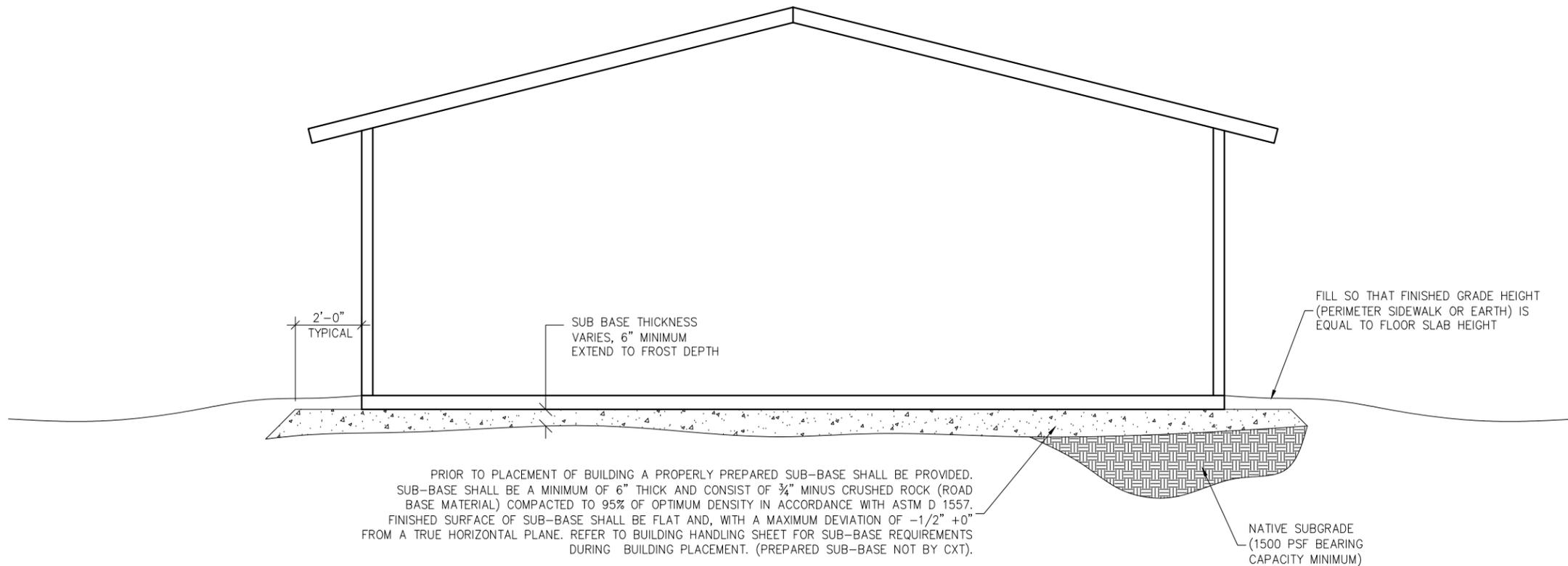
**NOTE:**

THIS FACTORY ASSEMBLED BUILDING, AS CONSTRUCTED, PROVIDES A RIGID BOX TYPE STRUCTURAL SYSTEM. VERTICAL LOADS ARE TRANSFERRED PRIMARILY THROUGH BEARING WALLS TO THE STRUCTURAL SLAB FLOOR OF THE BUILDING. THE VERTICAL LOADS ARE THEN DISTRIBUTED THROUGH THE REINFORCED CONCRETE FLOOR TO THE PREPARED GRANULAR, NON-FROST SUSCEPTIBLE (NFS) SUB-BASE WHICH DISTRIBUTES THE VERTICAL LOADS IN RELATIVELY UNIFORM FASHION TO THE NATIVE SUB-GRADE. AS WITH MOST CONSTRUCTION, THIS DOES REQUIRE THE NATIVE SUB-GRADE TO BE STRIPPED OF VEGETATION AND TOP SOIL PRIOR TO PLACEMENT OF THE PREPARED GRANULAR SUB-BASE. DUE TO THE INHERENT STIFFNESS OF THE BUILDING, IT WILL REMAIN SAFE AND STRUCTURALLY SOUND IN THE UNLIKELY EVENT OF FREEZING ACTION BELOW THE BUILDING REGARDLESS OF NATURAL FREEZE/ THAW CYCLES ANTICIPATED TO BE ENCOUNTERED IN THE STATE OF NEVADA.

LATERAL LOADS ARE TRANSFERRED TO THE GROUND THROUGH FRICTIONAL RESISTANCE WITHOUT SLIDING OR SHIFTING BETWEEN THE BUILDING FLOOR SLAB AND THE PREPARED SOIL AND GRAVEL SUB-BASE ON WHICH THE BUILDING RESTS. SEISMIC ANALYSES ARE BASED ON LOADS DETERMINED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE USING PARAMETERS, WHICH MEET OR EXCEED THE CODE PRESCRIBED REQUIREMENTS FOR THIS INSTALLATION.

THIS BUILDING AS DESIGNED, RESTING ON A PROPERLY PREPARED GRANULAR SUB-BASE WILL BE SAFE AND STRUCTURALLY SOUND FOR VERTICAL AND LATERAL LOADS AS DISCUSSED ABOVE. A FULL DEPTH FOUNDATION WALL AT THE BUILDING PERIMETER AND AN ANCHORAGE SYSTEM, TYPICAL FOR OTHER TYPES OF BUILDING CONSTRUCTION, ARE NOT REQUIRED FOR THIS BUILDING.

THE "FOUNDATION" FOR THIS STRUCTURE IS ESSENTIALLY THE COMBINATION OF THE COMPACTED SUB-BASE MATERIAL AND THE BUILDING'S REINFORCED SLAB. THE COMBINATION OF THE COMPACTED SUB-BASE MATERIAL AND THE BUILDING'S REINFORCED SLAB NEED TO BE AT LEAST 12" THICK AND THE COMPACTED SUB-BASE MATERIAL SHALL EXTEND BELOW THE LOCAL FROST DEPTH



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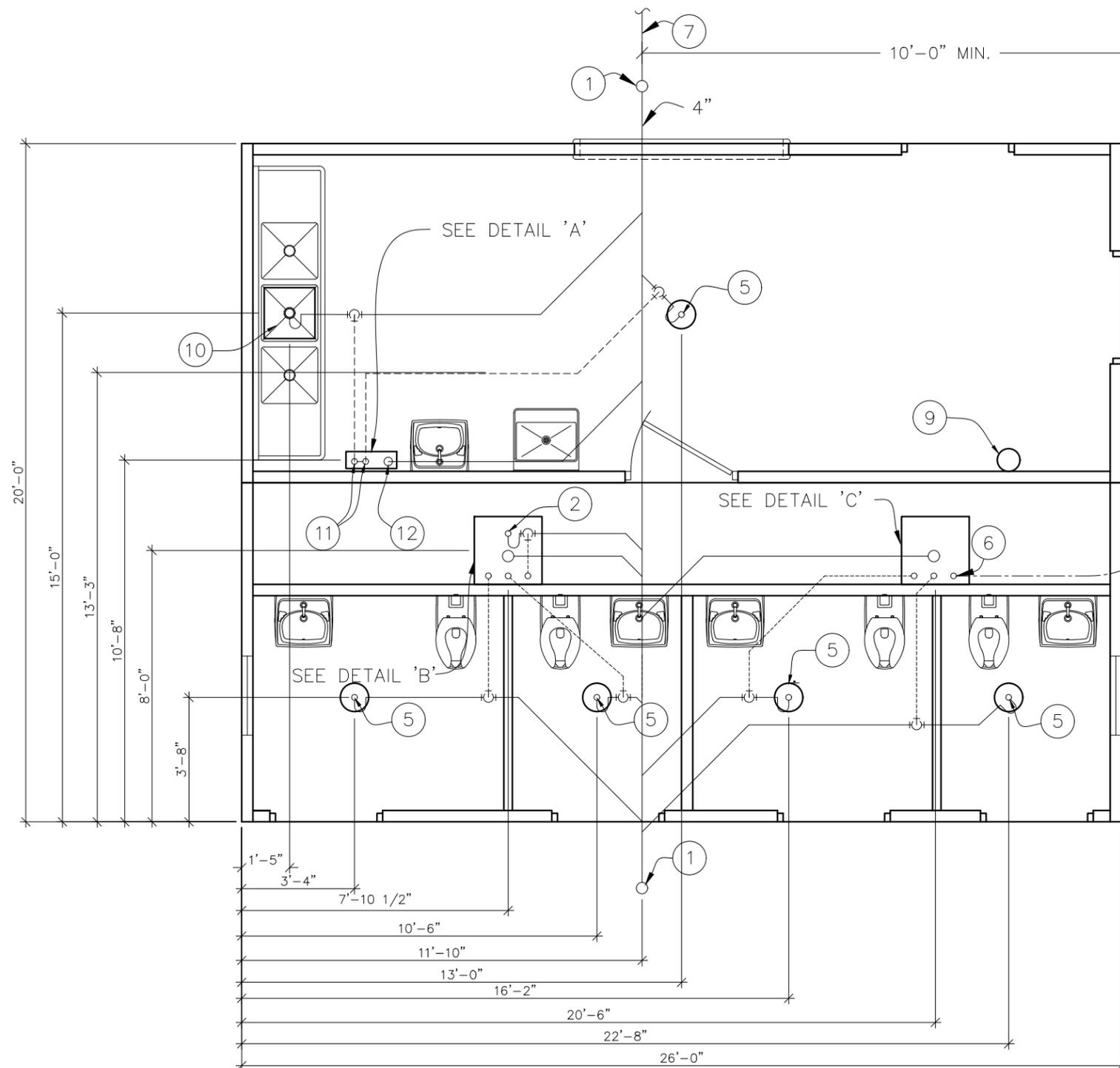
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**FOUNDATION  
 DETAIL**

DWG NO.	SHEET	REV.
S-25	25 / 33	0



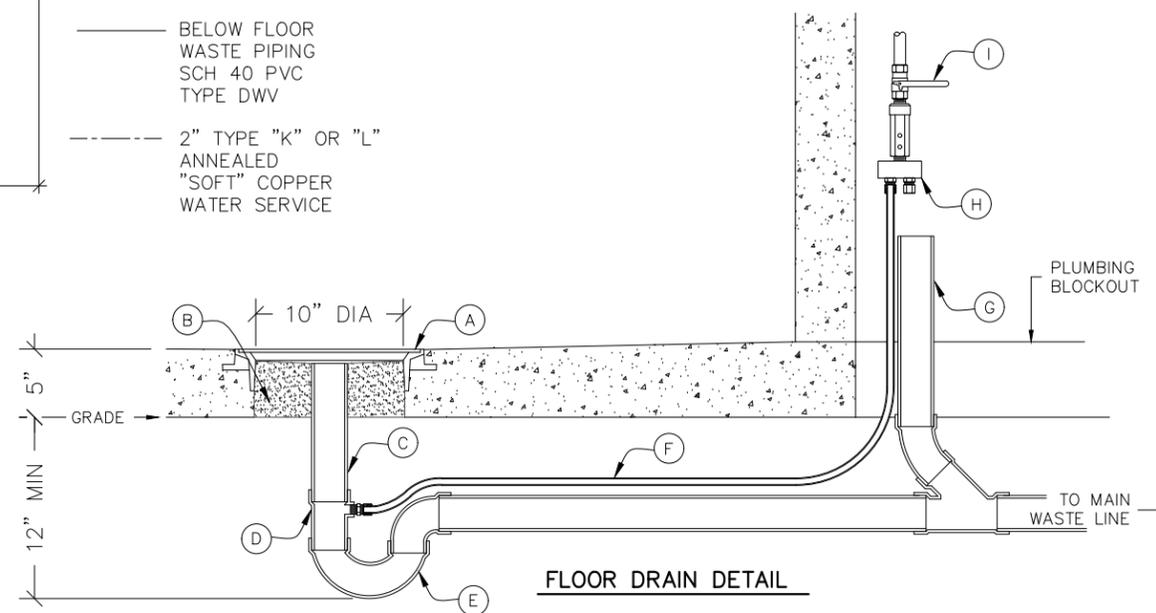
**BELOW FLOOR PIPING PLAN**

**BELOW FLOOR PIPING – KEY NOTES**

1. 4" CLEAN OUT TO GRADE.
2. 2" FLOOR DRAIN. FIELD INSTALLED TRAP PRIMER SYSTEM IF REQUIRED BY AUTHORITY HAVING JURISDICTION. (24"x24" BLOCKOUT)
3. 2" VENT PIPES EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE TEST PLUG. (24"x24" BLOCKOUT)
4. 4" WASTE PIPE EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE TEST PLUG. (24"x24" BLOCKOUT)
5. 2" FLOOR DRAIN. FIELD INSTALLED TRAP PRIMER SYSTEM IF REQUIRED BY AUTHORITY HAVING JURISDICTION. (10" DIA BLOCKOUT)
6. 2" TYPE K OR L ANNEALED "SOFT" COPPER WATER SERVICE EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE CAP AT END. (24"x24" BLOCKOUT)
7. 30" MIN. BURY, PROVIDE TRACER TAPE.
8. MIN. BURY PER LOCAL REQUIREMENTS TO PROTECT AGAINST FREEZING AND DAMAGE.
9. ELECTRICAL STUB UP, (8" DIA BLOCKOUT)
10. 2" FLOOR SINK (1'-6"x1'-6" BLOCKOUT).
11. 2" VENT PIPES EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE TEST PLUGS (6"x1'-6" BLOCKOUT).
12. 3" WASTE PIPES EXTENDED 12" ABOVE FINISHED FLOOR LEVEL, PROVIDE TEST PLUGS (6"x1'-6" BLOCKOUT).

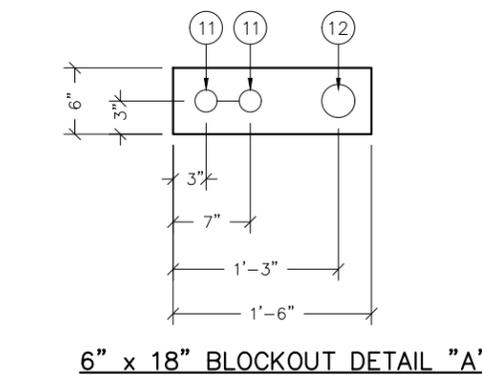
**PIPING LEGEND**

- BELOW FLOOR VENT PIPING  
SCH 40 PVC  
TYPE DWV
- BELOW FLOOR WASTE PIPING  
SCH 40 PVC  
TYPE DWV
- 2" TYPE "K" OR "L"  
ANNEALED  
"SOFT" COPPER  
WATER SERVICE

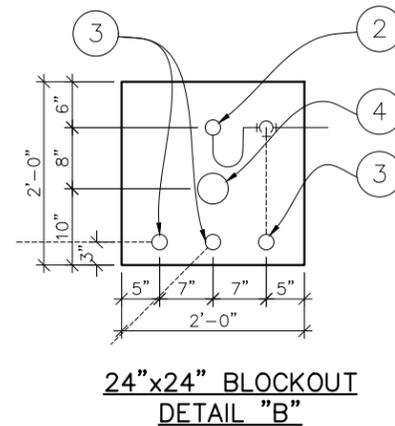


**FLOOR DRAIN DETAIL**

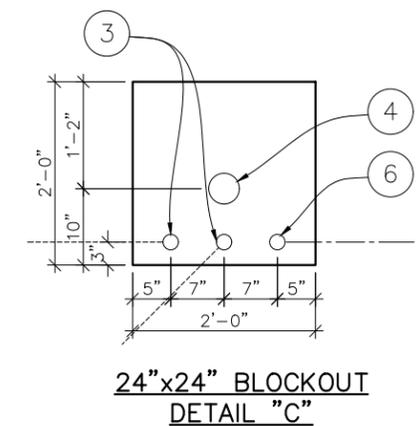
ALL PIPING INDICATED ON THIS SHEET IS NOT BY CXT



**6" x 18" BLOCKOUT DETAIL "A"**



**24"x24" BLOCKOUT DETAIL "B"**



**24"x24" BLOCKOUT DETAIL "C"**

**FLOOR DRAIN DETAIL NOTES**

- A. CAST-IN DRAIN HOUSING (10" INSIDE DIM – PROVIDED BY CXT)
- B. FIELD INSTALLED GROUT, SLOPE TO DRAIN (CXT PROVIDED-INSTALLATION NOT BY CXT)
- C. 2" WASTE PIPE – STUB UP 12" ABOVE GRADE (NOT BY CXT)
- D. TAPPED P-TRAP ADAPTER (NOT BY CXT)
- E. P-TRAP ASSEMBLY (NOT BY CXT)
- F. 1/2" O.D. COPPER TRAP PRIMER LINE (NOT BY CXT)
- G. 2" FLOOR DRAIN VENT RISER – STUB UP 12" ABOVE GRADE (NOT BY CXT)
- H. TRAP PRIMER MANIFOLD (PRE-PLUMBED AND INSTALLED BY CXT)
- I. 1/2" SHUT OFF VALVE (PRE-PLUMBED AND INSTALLED BY CXT)

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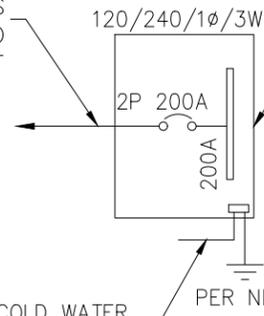
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**FLOOR DRAIN LOCATIONS & BELOW FLOOR PIPING**

DWG NO.	S-26	SHEET	26	REV.	0
			33		

CONDUIT WIRES (NOT BY CXT):  
 (3) 3/0 (CU) FEEDERS  
 (1) #4 (CU) GROUND  
 2" CONDUIT



INTERIOR SURFACE MOUNTED LOAD CENTER WITH MAIN BREAKER AND GROUND BAR. ALL EQUIPMENT INCLUDING BRANCH BREAKERS RATED AT 22,000 AIC. BLOCK-OUT UNDER PANEL PROVIDED FOR SERVICE LATERAL.

**ONE-LINE POWER DIAGRAM**  
 NTS

**GENERAL ELECTRICAL NOTES**

1. RECESSED JUNCTION BOXES FOR SINGLE DEVICES SHALL HAVE SINGLE GANG MUD RINGS CAST IN CONCRETE WALLS.
2. ALL RECEPTACLES SHALL BE GFCI PROTECTED BY CIRCUIT BREAKERS, OR BY OTHER GFCI RECEPTACLES.
3. ALL CONDUIT SHALL BE SIZED PER NEC. (SEE REF TABLE) EXPOSED CONDUIT SHALL BE EMT/FMC, RECESSED SHALL BE PVC.
4. INSTALL ALL WIRING IN CONDUIT OR RELATED ENCLOSURES.
5. ALL ELECTRICAL INSTALLATIONS SHALL MEET THE 2017 NATIONAL ELECTRICAL CODE.
6. MINIMUM WIRE SIZE SHALL BE #12 AWG COPPER, THHN INSULATION UNLESS NOTED OTHERWISE.
7. ROUTE ALL CONDUITS IN UTILITY ROOM AT CEILING OR FACE OF WALLS.
8. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE & MAY NOT SHOW EXACT LOCATIONS OF DEVICES. REFER TO WALL PANEL & OTHER DRAWINGS FOR EXACT LOCATIONS OF J-BOXES, ETC..
9. ALL CONDUCTORS AND CABLES MUST BE PROPERLY TERMINATED IN APPROVED BOXES, BEFORE CONNECTING THE CIRCUIT TO THE BREAKER AND BEFORE RECEIVING FINAL INSPECTION APPROVAL IN THE FACTORY
10. CIRCUIT BREAKER LOCKOUTS REQUIRED FOR EACH HAND DRYER.

EXHAUST FAN SCHEDULE							
SYM	MFR	MODEL #	CFM	SONES	VOLTS	AMPS	NTS.
EF-1	FANTECH	FG-4XL	173	6.0	120	0.75	2
EF-2	FANTECH	RE-6	227	7.7	120	0.6	1

NOTE 1. FANS LISTED FOR WET LOCATION, CONTROL VIA OCCUPANCY SENSOR.  
 2. INLINE CENTRIFUGAL FAN, PROVIDE DUCTING AND ROOF EXHAUST CAP.

PANEL SCHEDULE													
AMP 200		PANEL		TOTAL CONNECTED VA LOAD		6,278							
SURFACE MOUNT		120/240V, 1P, 3W		TOTAL CALCULATED VA LOAD		7,421							
CIRCUIT				LOAD			CIRCUIT				LOAD		
NO.	DESCRIPTION	OCP	TYPE (VA)	(A)	PH.	NO.	DESCRIPTION	OCP	TYPE (VA)	(A)			
1	LIGHTS AND EXHAUST FANS - CONCESSION	1P/20A	N	252	2.1	A	2	LIGHTS AND EXHAUST FANS - RESTROOMS	1P/20A	R	500	4.2	
3	RECEPTACLE - CHASE	1P/20A	R	180	1.5	B	4	LIGHTS - CHASE	1P/20A	N	56	0.5	
5	OUTDOOR LIGHT	1P/20A	C	70	0.6	A	6	RR RECEPTACLES	1P/20A	R	360	3.0	
7	RR RECEPTACLES	1P/20A	R	360	3.0	B	8	WATER HEATER	2P/30A	C	2,250	18.8	
9						A	10			C	2,250		
11						B	12						
13						A	14						
15						B	16						
17						A	18						
19						B	20						
21						A	22						
23						B	24						
25						A	26						
27						B	28						
29						A	30						
31						B	32						

LOAD	CONNECTED	CALCULATED
(C)ONTINUOUS	4,570 x1.25	5,713 VA
(R)EC (1ST 10KVA)	1,400 x1.00	1,400 VA
(N)ON-CONTINUOUS	308 x1.00	308 VA
(L)ARGEST MOTOR	- x1.25	- VA
<b>TOTAL LOAD</b>	<b>6,278</b>	<b>7,421 VA</b> 30.9 AMPS

NOTE: MAXIMUM ALLOWABLE AIC IS 22K AMPS, PANEL MODIFICATIONS WILL BE REQUIRED (NOT BY CXT) IF TRANSFORMER CAPACITY EXCEEDS 175 KVA.

LIGHTING FIXTURE SCHEDULE			
FIXTURE NUMBER	VOLTAGE	WATTS	DESCRIPTION
A	120	25	LUMINAIRE VPF84 INTERIOR LIGHT FIXTURE, VPF8-4FT-NODIM-25W-40K-MVOLT-CLP-WHT-WL-20CC SURFACE MOUNTED, LED LAMP 4 FT, WRAP AROUND LENS, LOW TEMPERATURE DRIVER, BUILT IN OCCUPANCY SENSOR ACTIVATED W/ ADDITIONAL OCCUPANCY SENSOR FOR FAN CONTROL
B	120	14	SWOOP 610 LED EXTERIOR LIGHT, YWP610-14W HP-3500K-120-CP-BRZ-CAB/PC EXTERIOR, VANDAL RESISTANT, WALL MOUNTED, 14 WATT, CLEAR PRISMATIC LENS, BUILT IN PHOTOELECTRIC CONTROL
C	120	25	LUMINAIRE VPF84 INTERIOR LIGHT FIXTURE, VPF8-4FT-NODIM-25W-40K-MVOLT-CLP-WHT-WL SURFACE MOUNTED, LED LAMP 4 FT, WRAP AROUND LENS, LOW TEMPERATURE DRIVER, WALL SWITCH CONTROL.

NOTE: THE SOURCE OF EFFICACY OF EXTERIOR LIGHTING IS TO BE A MINIMUM OF 45 LUMENS PER WATT.



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**ELECTRICAL NOTES, DETAILS, & SCHEDULE**

DWG NO.	SHEET	REV.
S-30	30	0
	33	